

## BUILDING INFORMATION

SITE LOCATION:	1151 TAUGHANNOCK BLVD. ITHACA, NY, 14850
TAX MAP:	#31-2-7
LOT AREA:	1.04 ACRES
APPLICABLE CODES:	2020 BUILDING CODE OF NEW YORK STATE
EXISTING BUILDINGS ON LOT:	1
MAX STORIES:	2.5
MAX EXISTING BUILDING HEIGHT:	28'-0"
CONSTRUCTION CLASS:	TYPE V-B: NON FIRE RATED CONSTRUCTION
ZONING CLASS:	LS (LAKESHORE)
PROPOSED ACCESSORY STRUCTURE:	
TOTAL GROSS SQUARE FOOTAGE:	408 SQ. FT.
STRUCTURE HEIGHT:	15'-6"
FIRE RESISTANCE RATINGS, PER SECTION 601:	
PRIMARY STRUCTURAL FRAME:	0 HRS
BEARING WALLS - EXTERIOR:	0 HRS
BEARING WALLS - INTERIOR:	N/A
FLOOR:	N/A
ROOF:	0 HRS

## SYMBOLS

	CALL-OUT REFERENCE
	ELEVATION TAG
	SECTION TAG
	DATUM
	SPOT ELEVATION
	DOOR TAG
	MATERIAL TAG
	WINDOW TAG

## DRAWING LIST

SHEET	SHEET TITLE	SCALE
G-001	GENERAL NOTES	AS NOTED
A-001	SURVEY	AS NOTED
A-002	EXISTING BUILDING FOOTPRINTS	AS NOTED
A-003	SITE PLAN	AS NOTED
A-004	AREA PLAN	AS NOTED
A-005	EXISTING SITE PHOTOS	AS NOTED
A-006	RAINWATER RUNOFF DIAGRAM	AS NOTED
A-007	PLAN LAYOUT	AS NOTED
A-008	EXTERIOR ELEVATION	AS NOTED
A-009	EXTERIOR ELEVATIONS (CONTD.)	AS NOTED
A-010	BUILDING SECTION	AS NOTED
A-011	BUILDING ISOMETRIC VIEWS	AS NOTED
A-012	EROSION + SEDIMENT CONTROL PLAN	AS NOTED
A-013	EROSION + SEDIMENT CONTROL DETAILS	AS NOTED

## SCOPE OF WORK

THE PROJECT SCOPE INVOLVES THE NEW CONSTRUCTION OF A 408 SQ. FT. UNHEATED OPEN AIR ACCESSORY STRUCTURE ON THE OWNER'S PROPERTY NEAR TAUGHANNOCK BLVD./N.Y.S RTE 89. THE STRUCTURE PRIMARY USE IS INTENDED TO BE VEHICULAR STORAGE DURING INCLEMENT WEATHER. THE ACCESSORY STRUCTURE USES LIGHT WOOD FRAME CONSTRUCTION AS A PRIMARY STRUCTURAL FRAME WITH A CONCRETE FOUNDATION.

## ABBREVIATIONS

#	Pound, Pounds, Number	LL	Live Load
+/-	Plus / Minus, Approximate	LSL	Laminated strand lumber
--	None	LVL	Laminated veneer lumber
AFF	Above finished floor	M.O.	Masonry opening
ALT	Alternate	MAX	Maximum
APT	Apartment	MECH	Mechanical
ARCH	Architect, Architectural	MFR	Manufacturer
B.O.	Bottom of	MIL	Millimeter
CFMF	Cold Formed Metal Framing	MIN	Minimum
CJ	Control Joint	MR	Moisture resistant
CL	Centerline	MTD	Mounted
CLG	Ceiling	MTL	Metal
CLR	Clear	N-S	North - South
CMU	Concrete masonry unit	N/A	Not applicable
COL	Column	NIC	Not in contract
CONC	Concrete	NOM	Nominal
CONT	Continuous	NTS	Not to scale
CPT	Carpet	OAE	Or approved equal
DBL	Double	OC	On center
DEMO	Demolish(ed)	OD	Outside diameter
DIA, Ø	Diameter	OH	Overhead
DL	Dead Load	OSB	Oriented strand board
DN	Down	OVHG	Overhang
DTL	Detail	P LAM	Pressure laminated
DWG	Drawing	PAF	Powder-actuated fastener
E-W	East - West	PL	Plate
EA	Each	PLYWD	Plywood
ELEV	Elevation	POLY	Polyethylene, Polyurethane
EMBED	Embedment	POLYISO	Polyisocyanurate
ENG	Engineer(ed), Engineering	PSF	Pounds per square foot
EPDM	Ethylene propylene diene terpolymer membrane	PSI	Pounds per square inch
EQ	Equal	PT	Pressure treated
EW	Each way	PTD	Painted
EXG	Existing	PVC	Polyvinyl chloride
EXT	Exterior	R.O.	Rough Opening
FD	Floor drain, Fire department	RC	Resilient channel
FF	Finished Floor	RE:	Refer to
FIN	Finish, Finished	REINF	Reinforcing
FLR	Floor	REQD	Required
FND	Foundation	S	Stud
FRP	Fiberglass reinforced panel	SIM	Similar
FRT	Fire retardant treated	SPEC	Specification
FT	Foot, Fire treated	SPF	Spruce-pine-fir
FTG	Footing	SYP	Southern yellow pine
GA	Gauge	T&G	Tongue and groove
GALV	Galvanized	T.O.	Top of
GC	General contractor	TBD	To be determined
GWB	Gypsum wall board	TPO	Thermoplastic polyolefin
HDG	Hot-dipped galvanized	TYP	Typical
HDWD	Hardwood flooring	UL	Underwriter's Laboratory
HOR	Horizontal	UNO	Unless noted otherwise
HR	Hour	VCT	Vinyl composition tile
HT	Height	VERT	Vertical
ICF	Insulated concrete form	VIF	Verify in field
ID	Inside diameter	W/	With
IN	Inch	W/O	Without
INT	Interior	WRB	Weather resistive barrier
LB,	LBS Pound, Pounds	WWM	Woven wire mesh
		XPS	Extruded polystyrene

## Notes & Revisions

BZA REVIEW	7/21/21
BZA REVIEW REV.1	11/04/21
SPR REVIEW	12/08/21

SEAL + SIGNATURE

**DRAFT - NOT FOR CONSTRUCTION**

## PERMIT SET

# ROCCO

## DESIGN + BUILD

415 W. Buffalo St. Ithaca, NY 14850  
607.351.6696  
roccodesignbuild@gmail.com

### ARCHITECT

Dillon Pranger, RA  
857 Taughanock Blvd.  
Garage Apt.  
Ithaca, NY 14850

### STRUCTURAL ENGINEER

### CONTRACTOR

ROCCO Design/Build  
Attn: Jeff Rocco Marianni  
415 W. Buffalo St.  
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phone: 607.351.6696  
jroc@roccodesignbuild.com

### OWNER

Laura A. Larson  
1151 Taughanock Blvd.  
Ithaca, NY 14850

## LARSON CARPORT

1151 Taughanock Blvd., Ithaca, NY 14850

## GENERAL NOTES

Date	12/08/21	<b>G-001</b>
Scale	AS NOTED	
Project	000	

Notes & Revisions	
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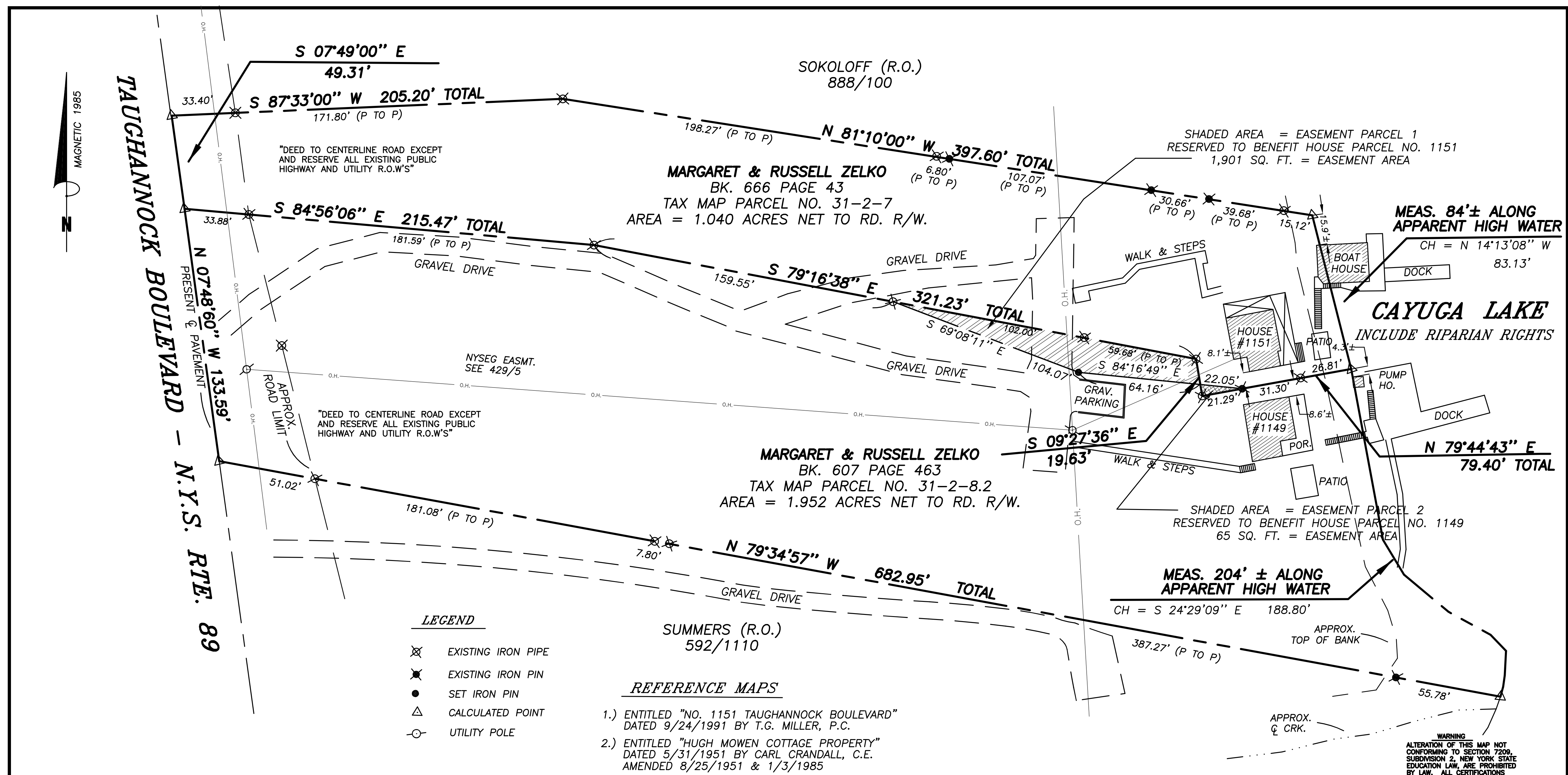
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- LEGEND**
- ⊗ EXISTING IRON PIPE
  - ⊗ EXISTING IRON PIN
  - SET IRON PIN
  - △ CALCULATED POINT
  - UTILITY POLE

**REFERENCE MAPS**

- 1.) ENTITLED "NO. 1151 TAUGHANNOCK BOULEVARD" DATED 9/24/1991 BY T.G. MILLER, P.C.
- 2.) ENTITLED "HUGH MOWEN COTTAGE PROPERTY" DATED 5/31/1951 BY CARL CRANDALL, C.E. AMENDED 8/25/1951 & 1/3/1985

**CERTIFICATION**

MICHAEL LARSON & LAURA A. LARSON  
 BARNEY, GROSSMAN, DUBOW & MARCUS  
 WELLS FARGO BANK, its successors and/or assigns  
 MONROE TITLE INSURANCE CORPORATION  
 TRUE, WALSH, LLP  
 RUSSELL R. ZELKO & MARGARET H. ZELKO

I hereby certify to that I am a licensed land surveyor, New York State License No. 050096, and that this map correctly delineates an actual survey on the ground made by me or under my direct supervision; that it was prepared in accordance with the current code of practice for land title surveys adopted by the New York Association of Professional Land Surveyors; and that I found no visible encroachments either way across property lines except as shown hereon.

SIGNED: Lee Dresser DATED: 6/8/2004

**T. G. MILLER P.C.**  
 ENGINEERS AND SURVEYORS  
 203 NORTH AURORA STREET  
 ITHACA, NEW YORK 14850  
 TEL (607) 272-6477

**TITLE: SURVEY MAP**  
 SHOWING LANDS OF MARGARET & RUSSELL ZELKO  
 LOCATED AT NO. 1149 & 1151 TAUGHANNOCK BOULEVARD  
 TOWN OF ULYSSES, TOMPKINS COUNTY, NEW YORK

DATE: 6/8/2004

SCALE: 1" = 50'

REVISED



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**SURVEY**

Date	12/08/21	A-001
Scale	AS NOTED	
Project	000	

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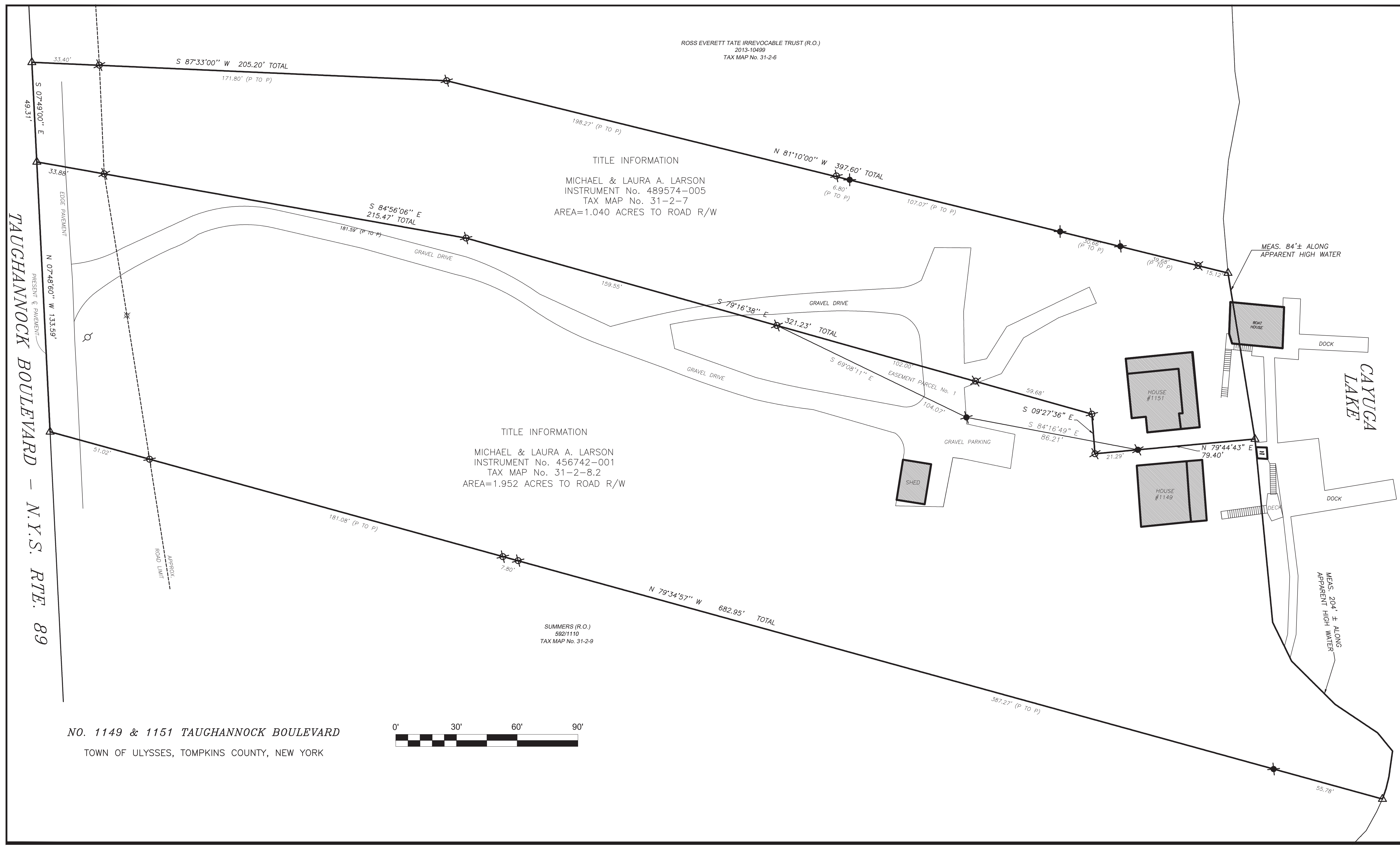
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EXISTING BUILDING FOOTPRINTS

Date	12/08/21	<b>A-002</b>
Scale	AS NOTED	
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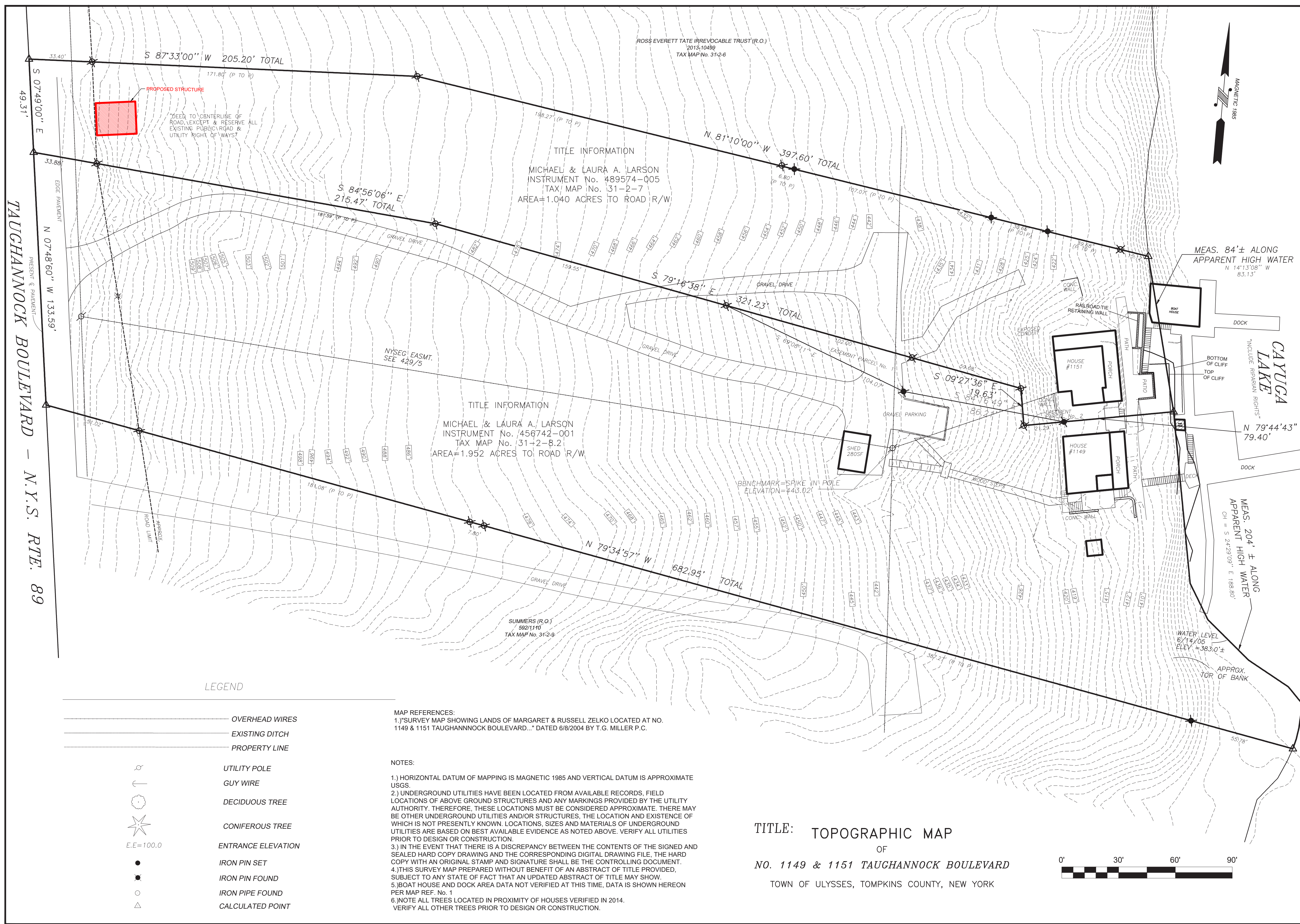
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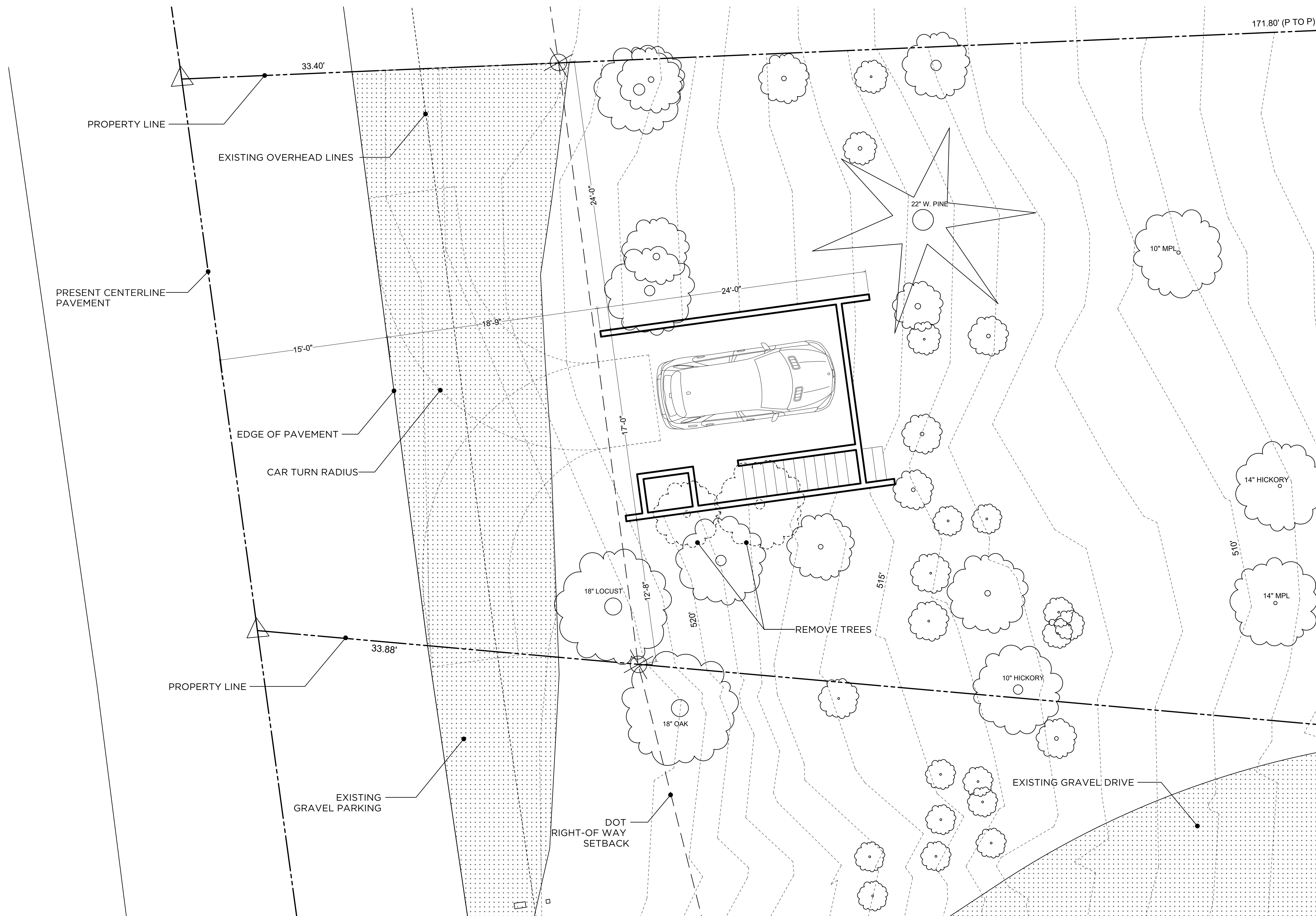
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SITE PLAN

Date	12/08/21	<b>A-003</b>
Scale	AS NOTED	
Project	000	



SITE PLAN 01  
NTS



171.80' (P TO P)

Notes & Revisions	
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SPR REVIEW	12/08/21

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**AREA PLAN**

Date	12/08/21	A-004
Scale	AS NOTED	
Project	000	



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**EXISTING CONDITIONS**

EXISTING CONDITIONS 01

Date	12/08/21	<b>A-005</b>
Scale	AS NOTED	
Project	000	

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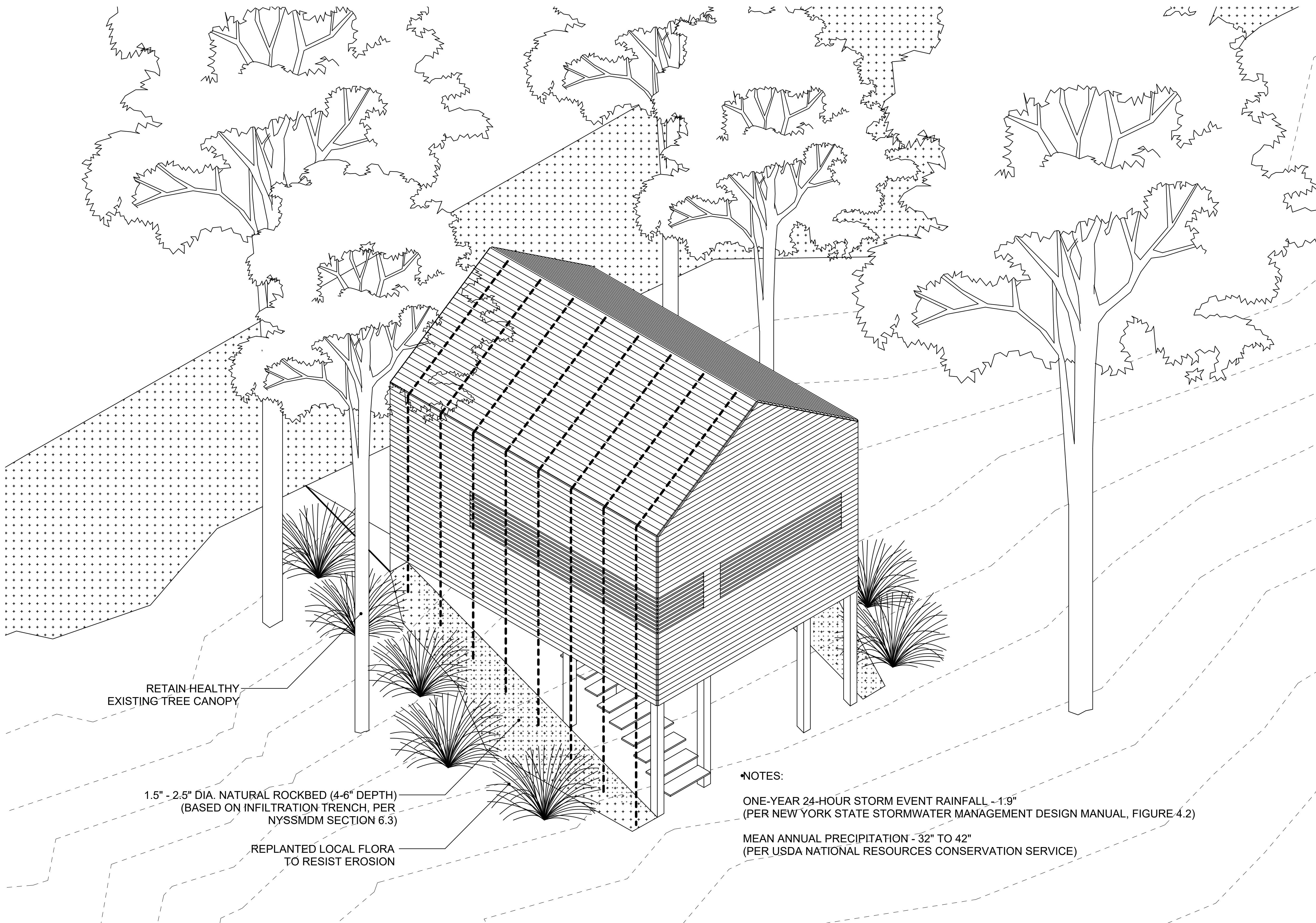
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**RAINWATER RUNOFF MANAGEMENT DIAGRAM**

Date	12/08/21	<b>A-006</b>
Scale	AS NOTED	
Project	000	



RETAIN HEALTHY EXISTING TREE CANOPY

1.5" - 2.5" DIA. NATURAL ROCKBED (4-6" DEPTH)  
(BASED ON INFILTRATION TRENCH, PER NYSSMDM SECTION 6.3)

REPLANTED LOCAL FLORA TO RESIST EROSION

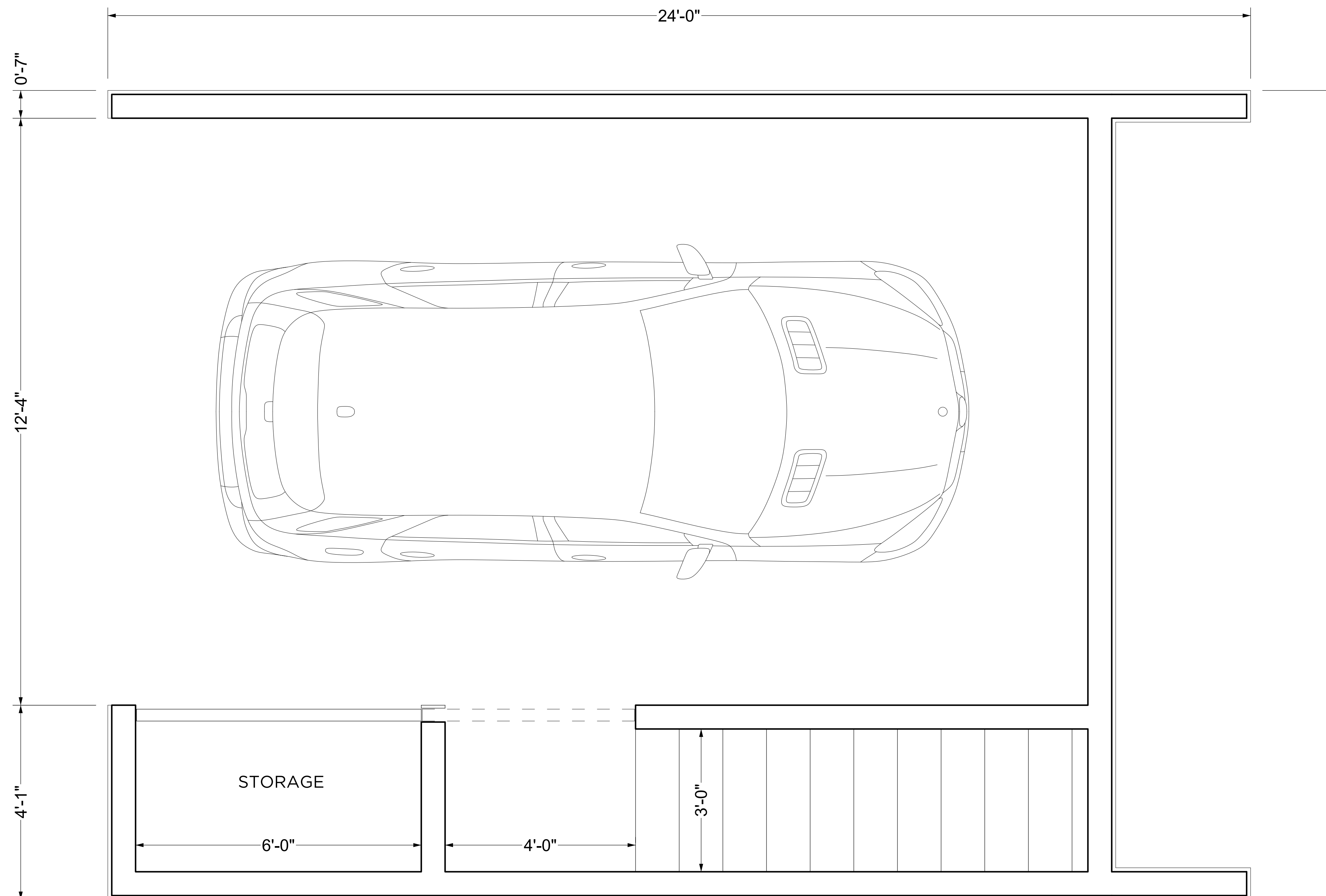
**NOTES:**

ONE-YEAR 24-HOUR STORM EVENT RAINFALL - 1.9"  
(PER NEW YORK STATE STORMWATER MANAGEMENT DESIGN MANUAL, FIGURE 4.2)

MEAN ANNUAL PRECIPITATION - 32" TO 42"  
(PER USDA NATIONAL RESOURCES CONSERVATION SERVICE)

SITE AXON 01

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**BUILDING LAYOUT**

 **BUILDING PLAN 01**  
3/4"=1'-0"

Date	12/08/21	<b>A-007</b>
Scale	AS NOTED	
Project	000	



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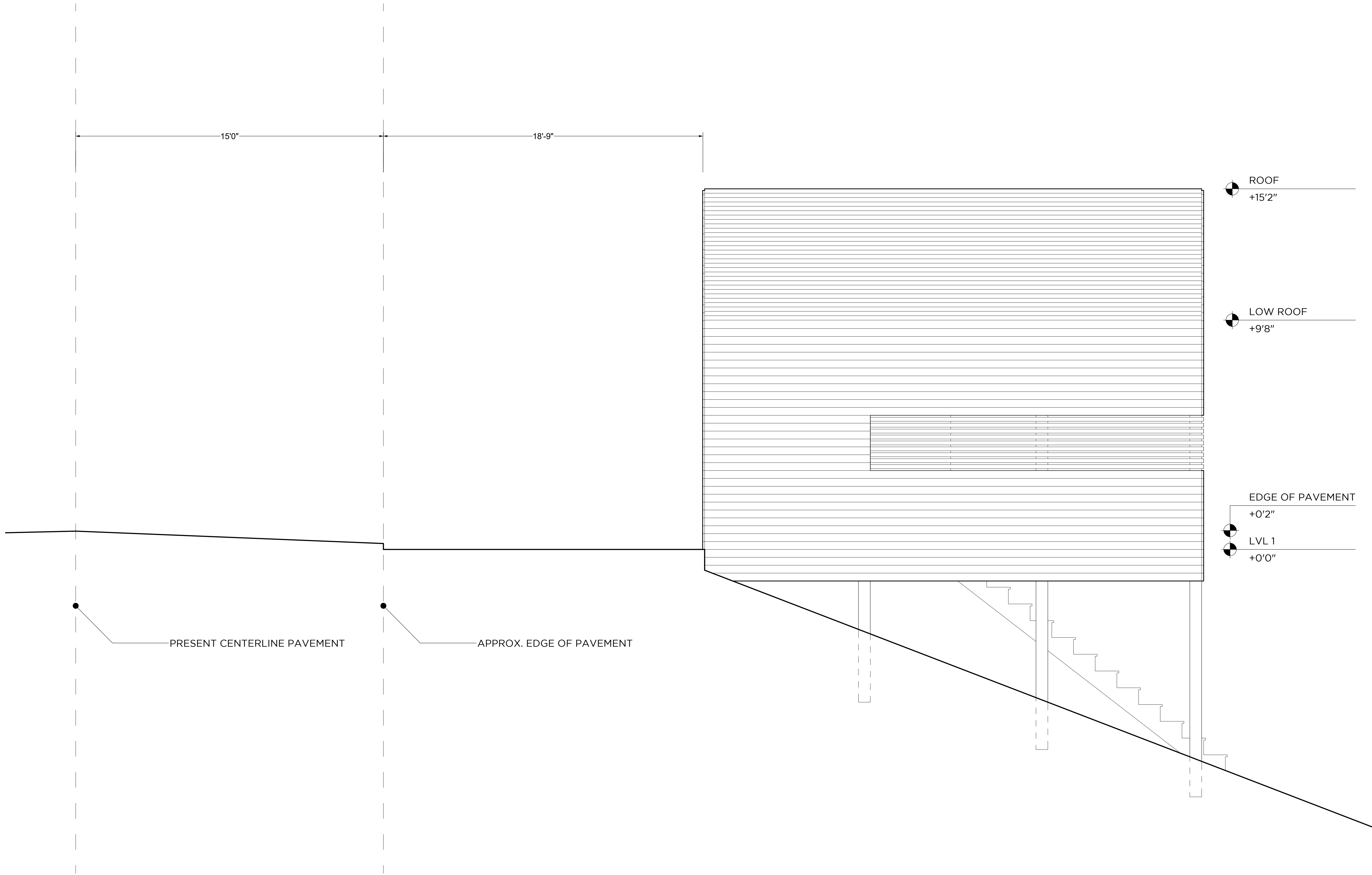
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**SOUTH ELEVATION**



**SOUTH ELEVATION 01**  
 1/2"=1'-0"

Date	12/08/21	<b>A-008</b>
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Project	000	

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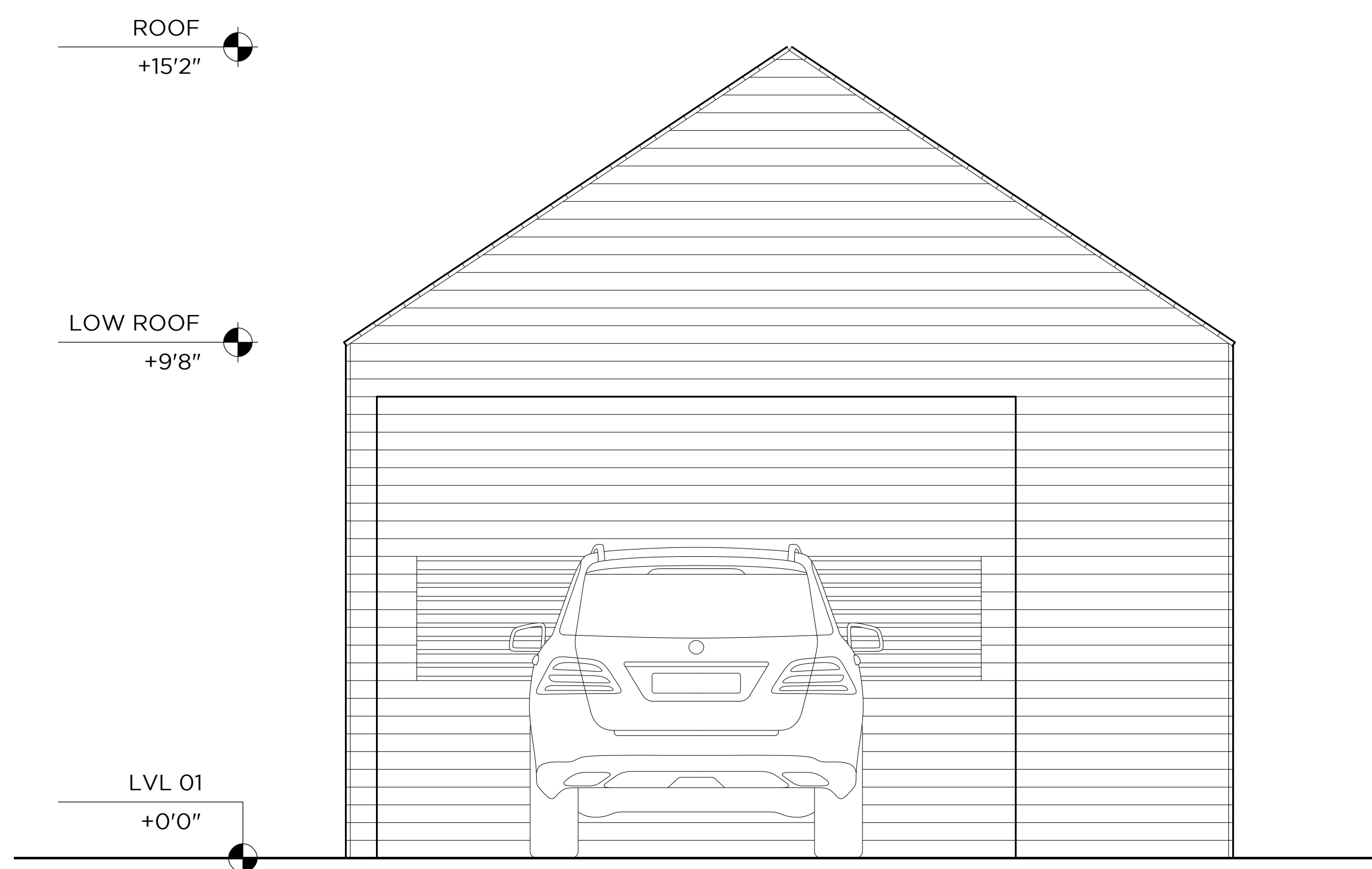
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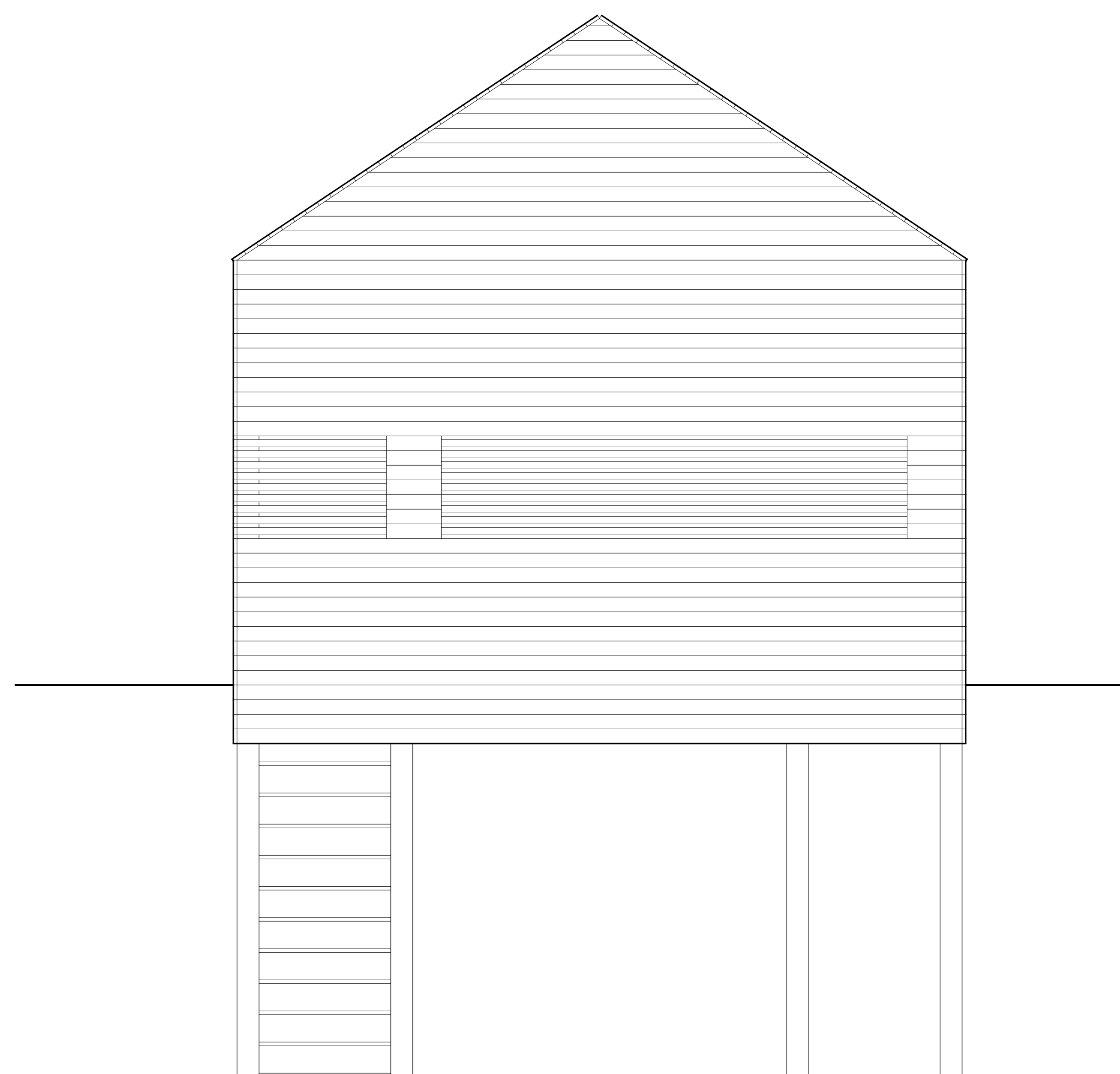
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**ELEVATIONS (CONTD.)**



**WEST ELEVATION 02**  
1/2"=1'-0"



**EAST ELEVATION 01**  
1/2"=1'-0"

Date	12/08/21	<b>A-009</b>
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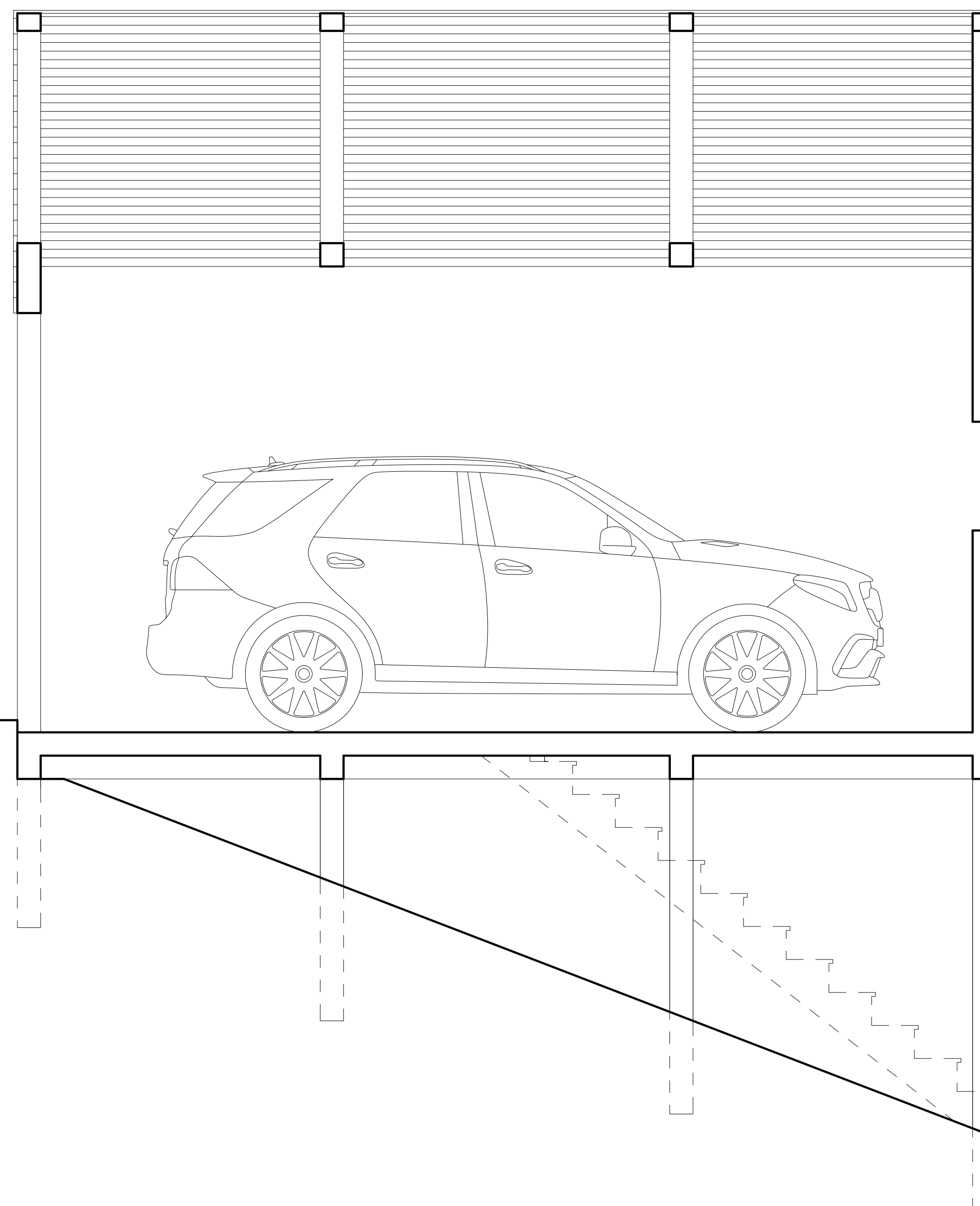
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**BUILDING SECTION**

**SECTION 01**  
1/2"=1'-0"

Date	12/08/21	<b>A-010</b>
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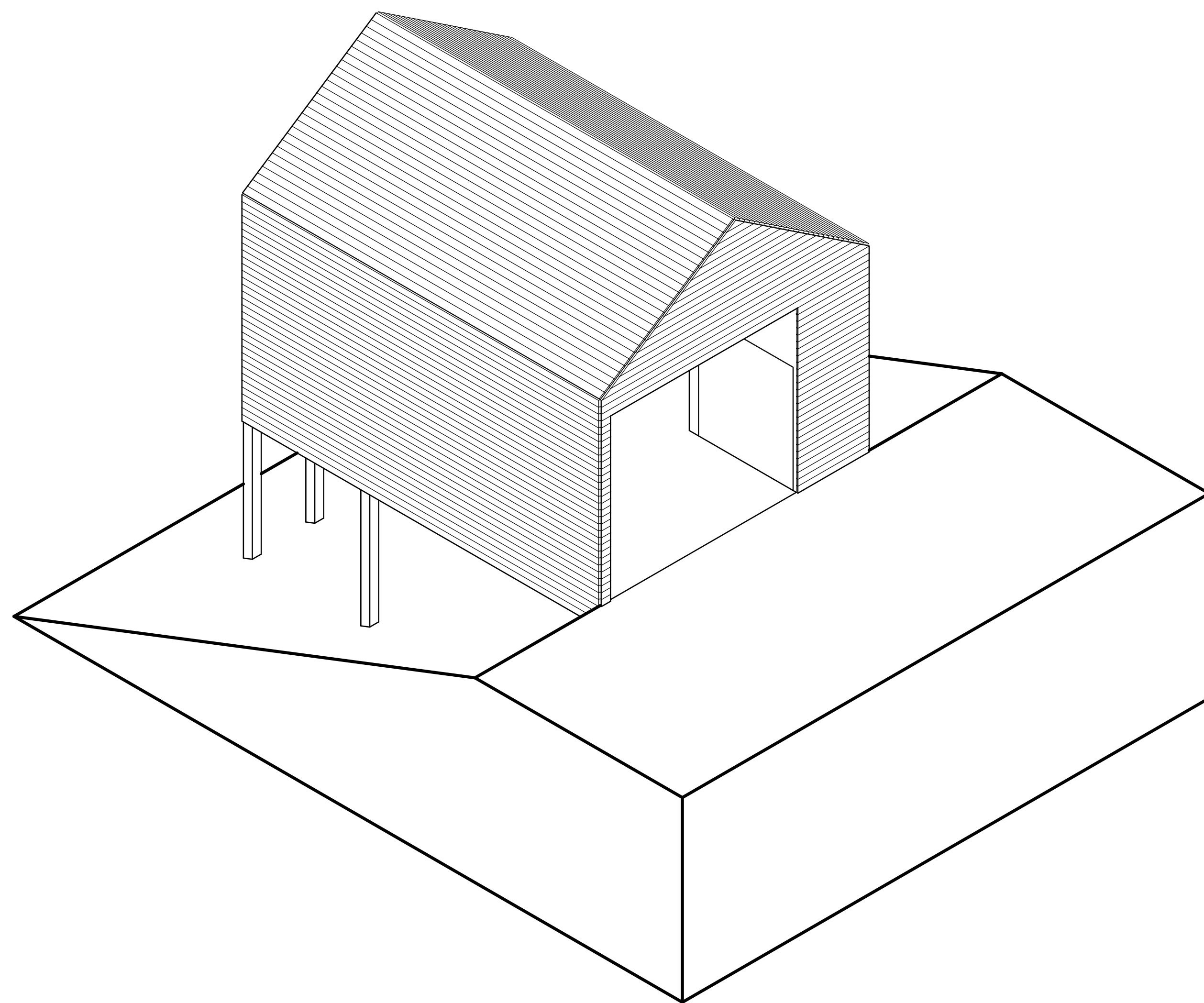
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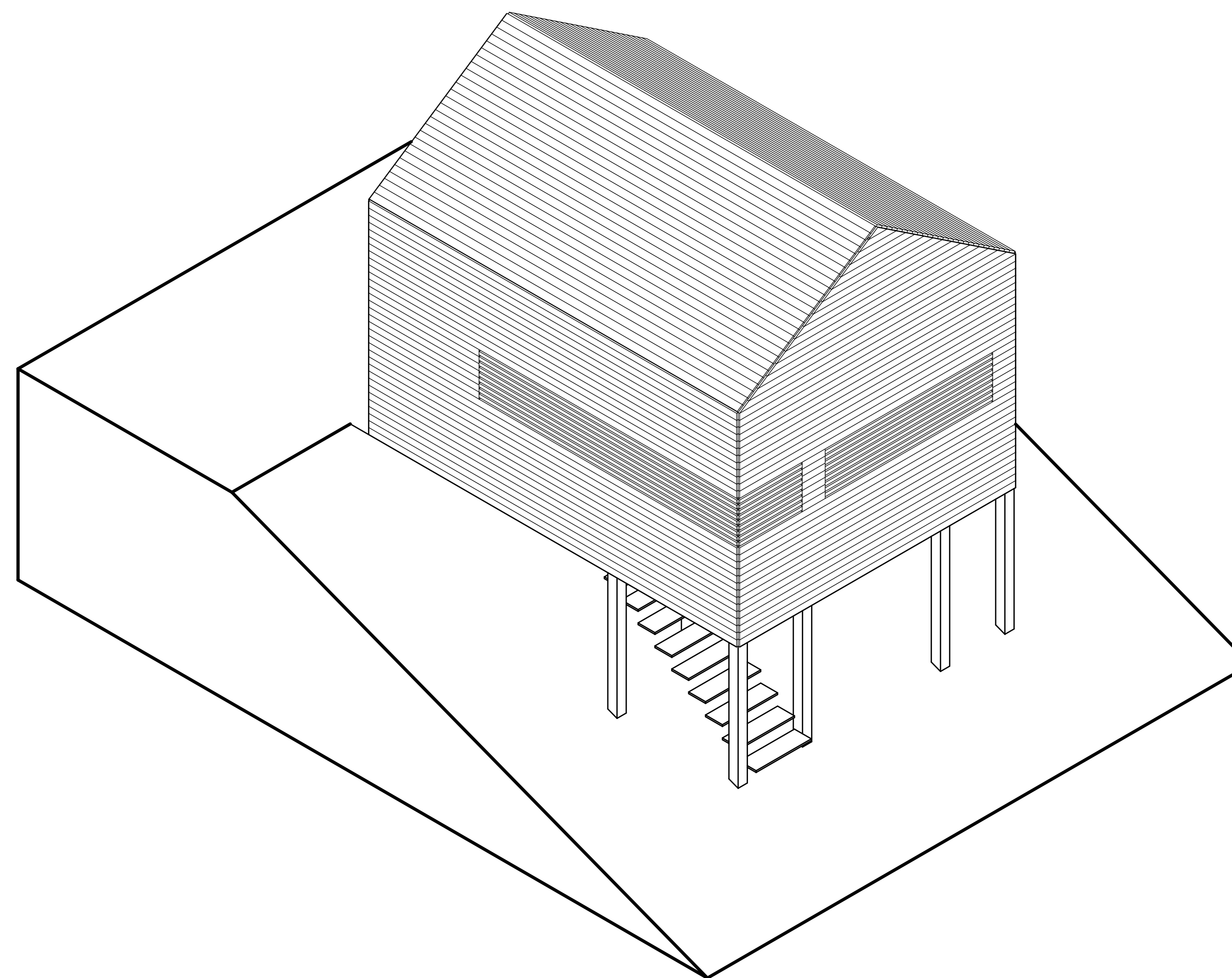
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**ISOMETRIC VIEWS**

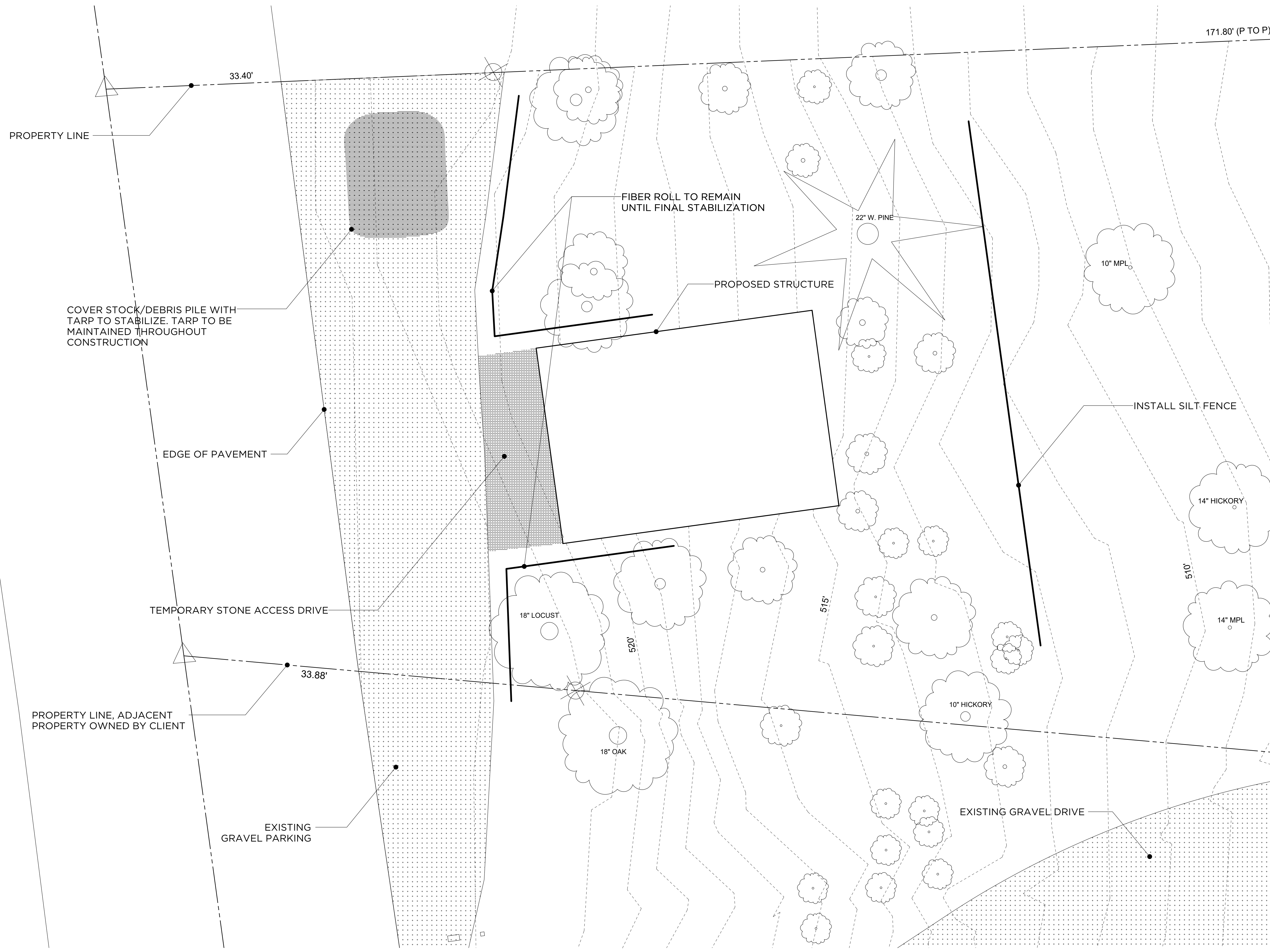


NORTHWEST ISOMETRIC VIEW 02  
NTS



SOUTHEAST ISOMETRIC VIEW 01  
NTS

Date	12/08/21	<b>A-011</b>
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171.80' (P TO P)

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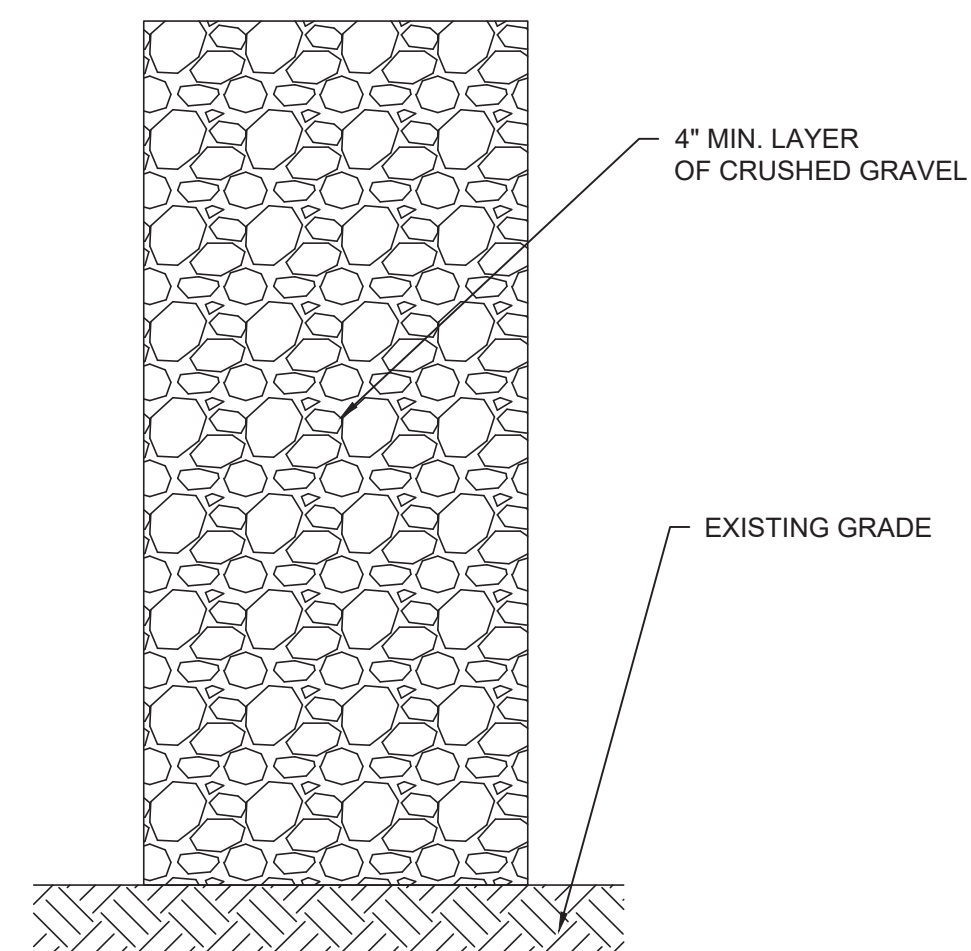
### LARSON CARPORT

1151 Taughanock Blvd., Ithaca, NY 14850

## EROSION CONTROL PLAN

**AREA PLAN 01**  
1/4"=1'-0"

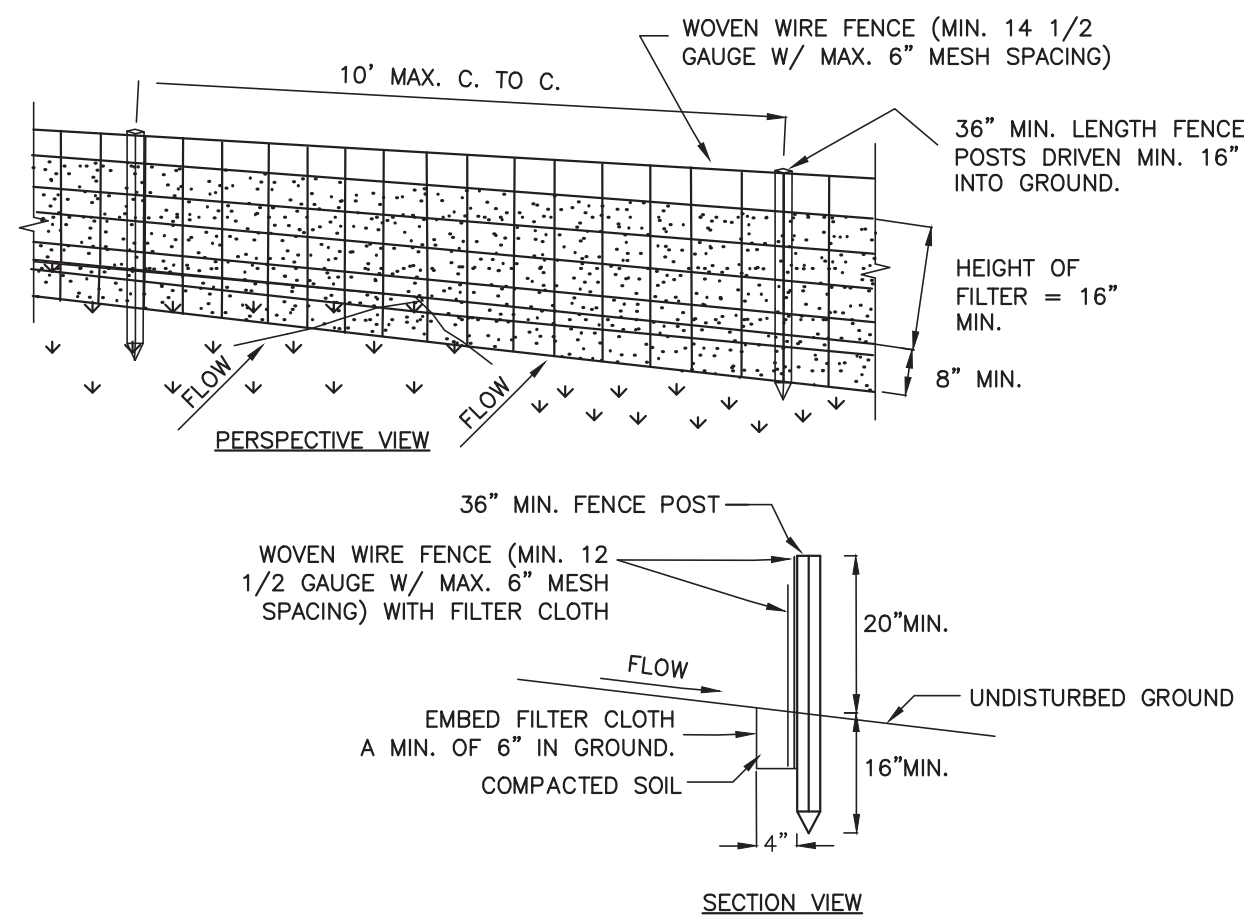
Date	12/08/21	<b>A-012</b>
Scale	AS NOTED	
Project	000	



TEMPORARY STONE ACCESS DRIVE (LIGHT DUTY)

1. THIS TEMPORARY ACCESS IS INTENDED ONLY FOR LIGHT DUTY CONSTRUCTION VEHICLES/EQUIPMENT. CONTRACTOR MAY NEED TO SUPPLEMENT WITH ADDITIONAL STONE AS CONDITIONS WARRANT.

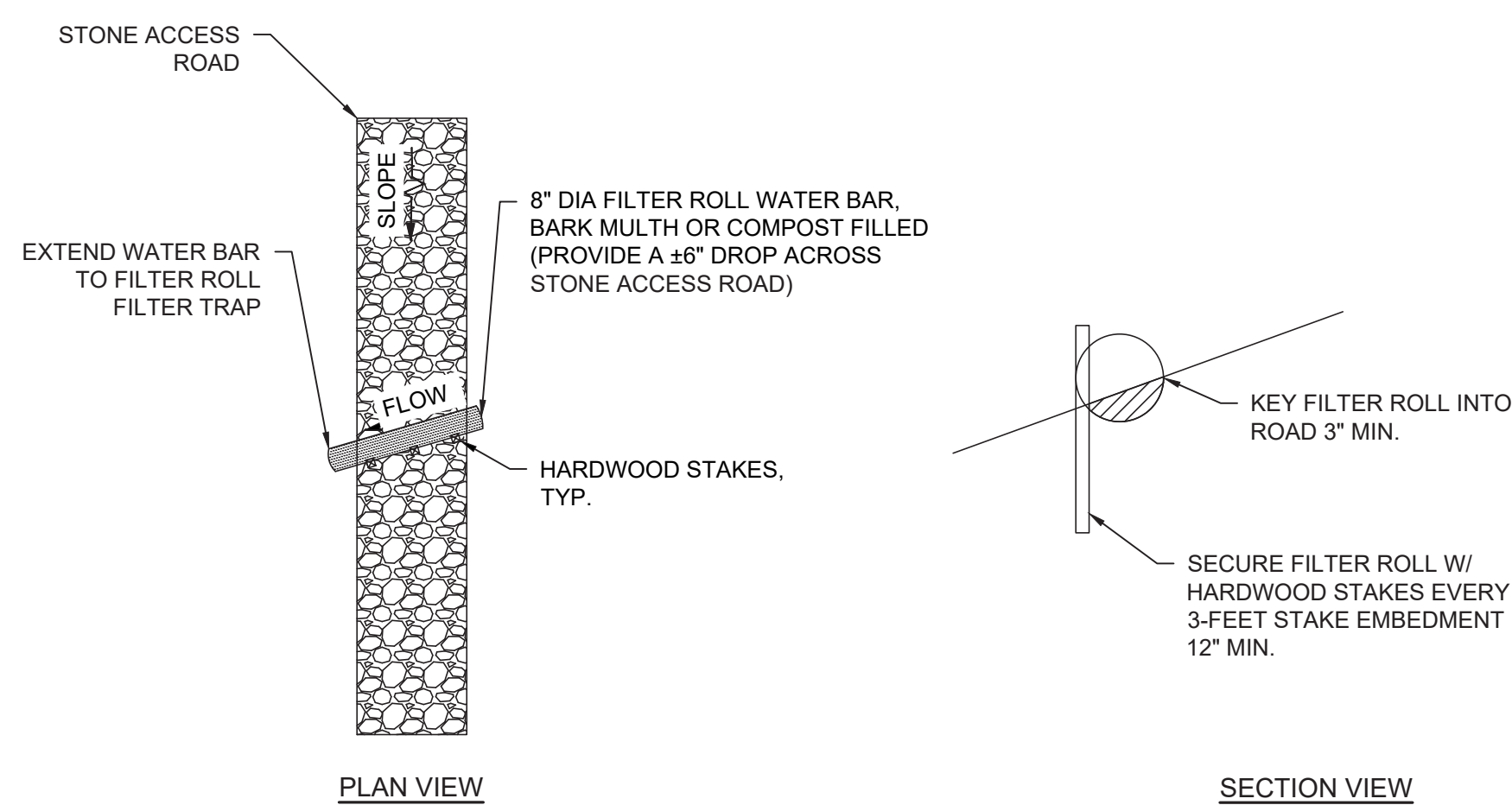
1 TEMPORARY STONE ACCESS DRIVE



CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "T" OR "U" TYPE OF HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLINKKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
6. ENVIRO-FENCE WITH INTEGRAL MESH IS ACCEPTABLE SUBSTITUTE.

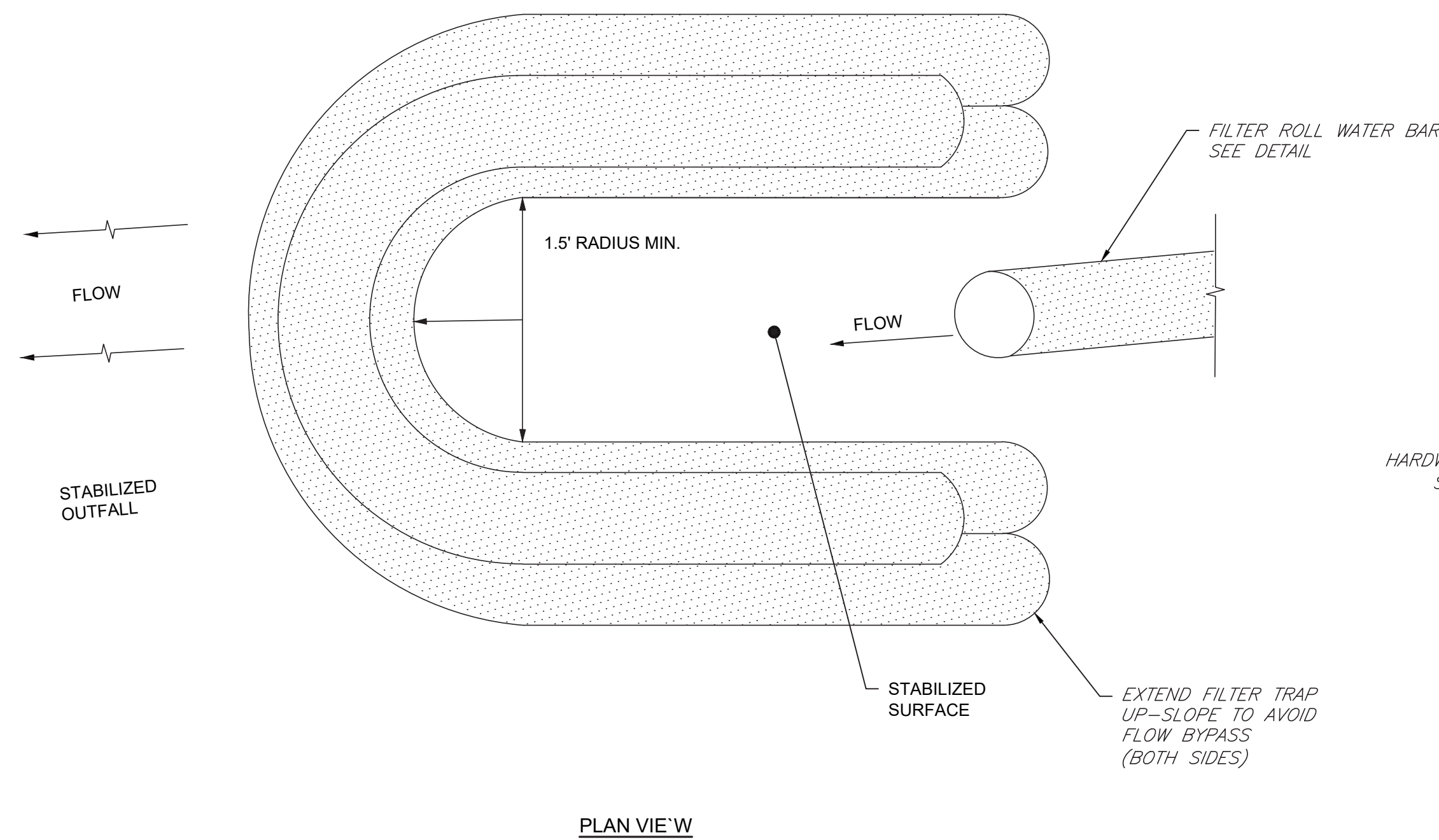
4 SILT FENCE  
SCALE: N.T.S.



FILTER ROLL WATER BAR NOTES:

1. CONTRACTOR MAY TEMPORARILY REMOVE FILTER ROLL WATER BAR AND STAKES IF EQUIPMENT ACCESS IS REQUIRED AND A RAIN EVENT IS NOT OCCURRING. CONTRACTOR TO RE-ESTABLISH & RE-STAKE WATER BAR AT THE CONCLUSION OF EQUIPMENT ACCESS/MOVEMENT. WATER BAR SHALL BE RE-ESTABLISHED NO LATER THAN THE END OF THE WORK DAY.
2. IF A RAIN EVENT IS OCCURRING THE CONTRACTOR SHALL KEEP THE WATER BAR IN SPACE DURING EQUIPMENT ACCESS/MOVEMENT. IF THE FILTER ROLL WATER BAR BECOMES DAMAGED, THE CONTRACTOR SHALL REPLACE & RE-ESTABLISH THE WATER BAR.
3. THE WATER BAR SHALL BE INSPECTED AFTER EVERY RAIN EVENT AND REPAIRED IF NECESSARY.

2 FIBER ROLL WATER BAR



FILTER ROLL FILTER TRAP NOTES:

1. THE FILTER TRAP SHALL BE INSPECTED AFTER EVERY RAIN EVENT AND REPAIRED IF NECESSARY. ACCUMULATED SEDIMENT WITHIN THE FILTER TRAP SHALL BE REMOVED IF SEDIMENT DEPTH REACHES ±6-INCHES.
2. ALL DISCHARGE FROM THE FILTER TRAPS SHALL BE DONE IN A NON-EROSIVE MANNER.

3 FIBER ROLL FILTER TRAP

SOIL RESTORATION REQUIREMENTS			
TYPE OF SOIL DISTURBANCE	RESTORATION REQUIREMENTS	COMMENTS/EXAMPLES	
NO SOIL DISTURBANCE	RESTORATION NOT REQUIRED	PRESERVATION OF NATURAL FEATURES	
MINIMAL SOIL DISTURBANCE	RESTORATION IS NOT REQUIRED	CLEARING & GRUBBING	
AREAS WHERE TOPSOIL IS STRIPPED ONLY - NO CHANGE TO GRADE	HSG A & B	HSG C & D	PROTECT AREA FROM ANY ONGOING CONSTRUCTION ACTIVITIES
	APPLY 6 INCHES OF TOPSOIL	AERATE* & APPLY 6 INCHES OF TOPSOIL	
AREAS OF CUTS OR FILLS	HSG A & B	HSG C & D	APPLY FULL SOIL RESTORATION**
	AERATE & APPLY 6 INCHES OF TOPSOIL	APPLY FULL SOIL RESTORATION**	
HEAVY TRAFFIC AREAS (ESPECIALLY WITHIN A ZONE OF 5-25 FEET AROUND BUILDINGS, BUT NOT WITHIN 5 FEET OF THE FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DE-COMPACTION & COMPOST ENHANCEMENT)		
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	SOIL RESTORATION IS NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS. † PROTECT NEWLY INSTALLED PRACTICES FROM ANY ONGOING CONSTRUCTION ACTIVITIES. †† CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA	
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREAS WILL BE CONVERTED TO PERVIOUS		

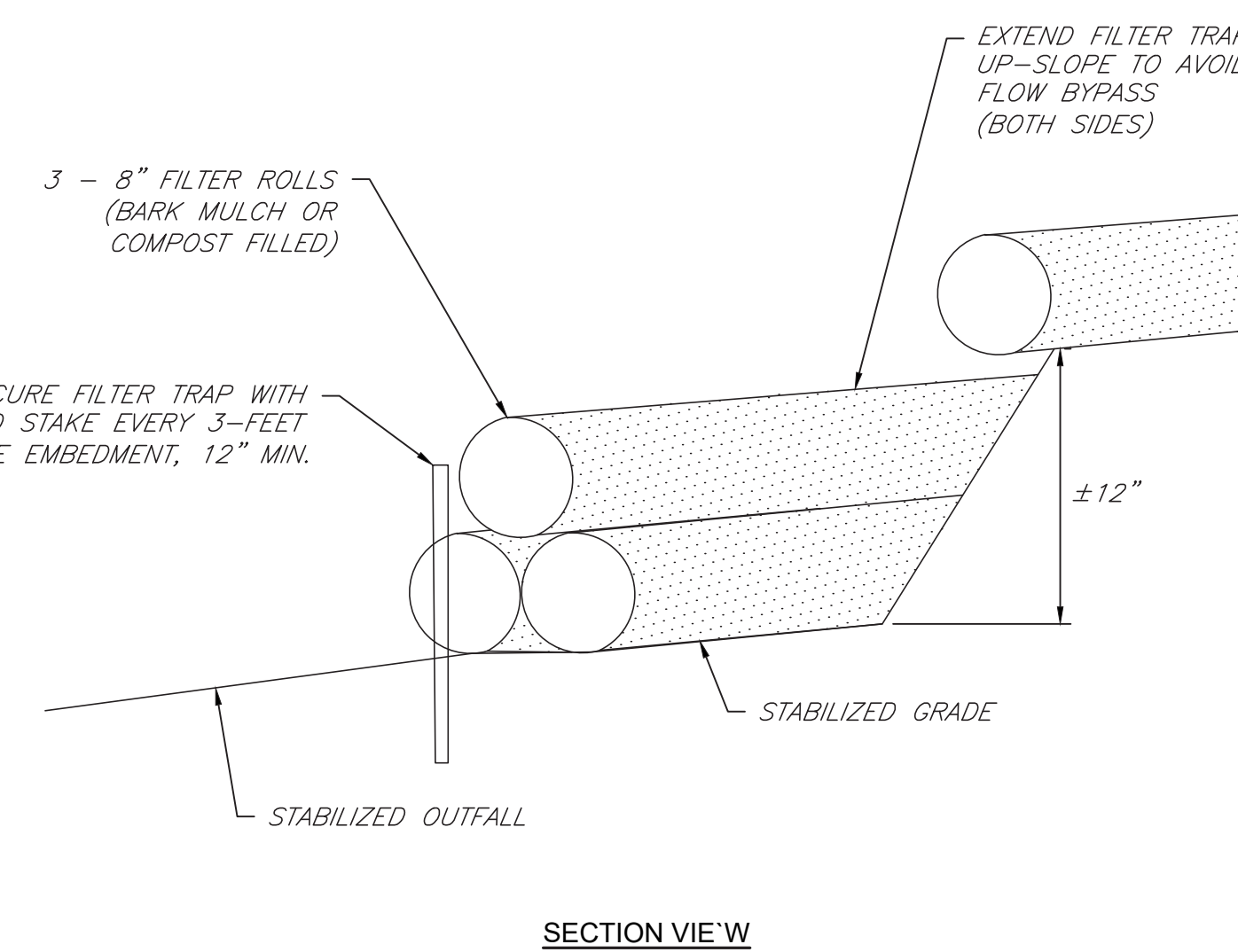
\*Aeration includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.

\*\* Per "Deep Ripping and De -compaction, DEC 2008".

NOTES:

1. DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:
  - APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
  - TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS
  - ROCKPICK UNTIL UNLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE
  - APPLY TOPSOIL TO A DEPTH OF 6 INCHES

5 SOIL RESTORATION



Notes & Revisions

BZA REVIEW	7/21/21
BZA REVIEW REV.1	11/04/21
SPR REVIEW	12/08/21

SEAL + SIGNATURE

DRAFT - NOT FOR CONSTRUCTION

PERMIT SET

**ROCCO**

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EROSION CONTROL DETAILS

Date	12/08/21	A-013
Scale	AS NOTED	
Project	000	